

ETHEL ST - MULTI-UNIT HOUSING

2429 ETHEL STREET, KELOWNA, BC

BC ENERGY STEP CODE COMPLIANCE - STEP 3

ISSUED FOR DP

PROJECT TEAM

JANUARY 13, 2025

ARCHITECTURAL

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DRAWING LIST - DP	
#	DRAWING
DP0.0	COVER PAGE, CONTACT INFO, CODE SUMMARY
DP1.0	SITE PLAN, ZONING SUMMARY, UNIT AREAS
DP2.1	FLOOR PLAN LEVEL 1
DP2.2	FLOOR PLAN LEVEL 2
DP2.3	FLOOR PLAN LEVEL 3
DP2.4	ROOF PLAN
DP3.1	BUILDING ELEVATIONS
DP3.2	BUILDING ELEVATIONS (COURTYARD)
DP4.1	BUILDING SECTIONS
DP6.1	MATERIAL BOARD

CODE REVIEW B.C.B.C. 2024 - PART 9

2429 ETHEL STREET-6 UNIT INFILL DEVELOPMENT
LEGAL DESCRIPTION: TBD

GENERAL BUILDING INFORMATION - BUILDING A

BUILDING AREA 1672 ft² 155.3 m²

REFER TO ZONING TABLE ON A1.0 FOR UNIT AREAS AND BYLAW CONFORMANCE

PART 9 PERMITTED PROVIDED

NUMBER OF STOREYS: 3 STOREYS 3

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FIRE PROTECTION 9.10

* TO BE READ IN CONJUNCTION WITH ALTERNATIVE SOLUTION PROVIDED WITH BP SUBMISSION

9.10.2.1 GROUP C - RESIDENTIAL OCCUPANCY

9.10.8.1 ROOF: W/A

9.10.8.3 LOAD SUPPORTS: 45 MIN. FIRE RESISTANCE RATING UNLESS: 1 HR. FR. WHERE WALLS SUPPORT A 1 HR. FLOOR ROOF SUPPORTING AN OCCUPANCY

9.10.8.7 45 MIN. FIRE RESISTANCE RATING UNLESS: 1 HR. FR. WHERE SEPARATING UNITS (9.10.9.14(3))

9.10.9.4 45 MIN. FIRE RESISTANCE RATING UNLESS: 1 HR. FR. WHERE SEPARATING UNITS (9.10.9.14(3))

9.10.9.14(3) RESIDENTIAL OCCUPANCIES SHALL BE SEPARATED FROM OTHER RESIDENTIAL OCCUPANCIES WITH A FIRE SEPARATION OF 1 HOUR

9.10.10.3(1) SERVICE ROOMS - 1 HOUR RATING

9.10.10.6 STORAGE (SERV) ROOMS - 1 HOUR FIRE SEPARATION

9.10.12.3(2) EXTERIOR WALL TO HAVE 1HR RATING WHERE ABUTTING ANOTHER UNIT

9.10.13. DOORS, DAMPERS AND OTHER CLOSURES IN FIRE SEPARATIONS

9.10.13.15 DOORS BETWEEN THE PARKING GARAGE SHALL HAVE SELF CLOSING DEVICES AND BE WEATHER STRIPPED.

9.10.15 SPATIAL SEPARATIONS BETWEEN HOUSES

REFER TO TABLE FOR REQUIRED SPATIAL SEPARATIONS

9.10.9.18 SEPARATION OF STORAGE GARAGES

9.10.9.18(3) A FIRE SEPARATION IS NOT REQ.'D WHERE A STORAGE GARAGE SERVES ONLY THE DWELLING UNIT TO WHICH IT IS ATTACHED.

9.10.9.18(4) AN AIR BARRIER IS REQ.'D BETWEEN THE STORAGE GARAGE AND THE REMAINDER OF THE BUILDING, AND ALL JOINTS SHALL BE SEALED.

9.10.18 ALARM AND DETECTION SYSTEMS

9.10.18.2.5 FIRE ALARM SYSTEM NOT REQUIRED EACH UNIT HAS DIRECT ACCESS TO GROUND FLOOR

9.10.19. SMOKE ALARMS

9.10.19.1 SMOKE ALARMS REQUIRED IN: EACH DWELLING UNIT EACH SLEEPING ROOM

9.10.20. FIREFIGHTING

9.10.20.1.(3) WINDOWS OR ACCESS PANELS NOT REQUIRED

9.11. SOUND TRANSMISSION MIN. STC 50 BETWEEN UNITS.

9.10.15.5 CONSTRUCTION OF EXPOSING BUILDING FACE OF HOUSES

CLADDING MATERIAL = COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION MATERIALS = COMBUSTIBLE OR NON-COMBUSTIBLE

9.10.15 SPATIAL SEPARATION - BUILDING A

	WEST (FRONT YARD)	NORTH (SIDE YARD)	EAST - UNIT 1 (INT. COURTYARD)	EAST - UNIT 2+3 (INT. COURTYARD)	SOUTH (DRIVE AISLE)
DISTANCE	12.7m (APPROX. TO ROAD C/L)	1.80m	3.3m (1/2 OF DRIVE AISLE)	3.3m (1/2 OF DRIVE AISLE)	7.5m
WALL AREA	40.9 m ² (COMPARTMENT, PER UNIT)	97.5 m ²	74.77 m ² (COMPARTMENT, PER UNIT)	74.77 m ² (COMPARTMENT, PER UNIT)	97.5 m ²
OPENING AREA	12.89 m ² (PER UNIT)	2.4 m ²	1.2 m ²	7.84 m ²	9.51 m ²
PERCENTAGE	31.5%	2.4%	2.9%	19.2%	9.7%
ALLOWABLE	UNLIMITED	9.0%	10%	24.38% (USING INTERPOLATION)	19%

9.10.15 SPATIAL SEPARATION - BUILDING B

	WEST (INT. COURTYARD)	NORTH (SIDE YARD)	EAST (REAR YARD)	SOUTH (SIDE YARD)
DISTANCE	3.3m (1/2 OF DRIVE AISLE)	1.80m	3.0m	3.5m
WALL AREA	36.8 m ² (COMPARTMENT, PER UNIT)	77.6 m ²	36.6 m ² (COMPARTMENT, PER UNIT)	77.6 m ²
OPENING AREA	6.73 m ² (PER UNIT)	1.8 m ²	8.27 m ²	2.32 m ²
PERCENTAGE	18.28%	2.3%	22.6%	2.9%
ALLOWABLE	26.22% (USING INTERPOLATION)	9.0%	22.86% (USING INTERPOLATION)	9.0%



2429 ETHEL STREET-6 UNIT INFILL DEVELOPMENT
LEGAL DESCRIPTION: TBD

DEVELOPMENT ZONING REVIEW - PER PROPERTY (INCLUDES BOTH BUILDING A + B)

CURRENT ZONING	MF1	REQUIRED	PROVIDED
-	-	-	836.8 m ²
PARCEL SIZE:	-	-	23.2 m
LOT WIDTH	-	-	36.3 m
LOT DEPTH	-	-	6
NUMBER OF UNITS	6	6	379 m ²
BUILDING AREA	-	-	652.2 m ²
NET FLOOR AREA	-	-	0.78
FLOOR AREA RATIO	-	-	70%
3 RD FLOORPLATE % OF 2 ND	70%	70%	45.3%
MAX LOT COVERAGE	55%	75%	74.2%
SITE COVERAGE (IMPERMEABLE)	75%	75%	9.75 m
MAX BUILDING HEIGHT	11 m	11 m	6
PARKING	1 PER UNIT	6	
SETRBACKS			
FRONT YARD (WEST)	3.0 m	3.0 m	
SIDE YARD (NORTH)	1.8 m	1.8 m	
REAR YARD (EAST)	3.0 m	3.0 m	
SIDE YARD (SOUTH)	1.8 m	3.5 m	

- THIS DRAWING MUST NOT BE SCALED.
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NO.	DATE	DESCRIPTION
4	25 01 13	ISSUED FOR DP
3	25 01 09	ISSUED FOR PRICING
2	24 10 29	ISSUED FOR REVIEW
1	24 10 05	ISSUED FOR REVIEW

ETHEL STREET

6-UNIT INFILL

2429 ETHEL ST., KELOWNA, BC

Sheet Title

COVER PAGE,
CONTACT INFO,
CODE SUMMARY

Job Number 24-033

Date 25 01 13

Scale 1 1/2" = 1'-0"

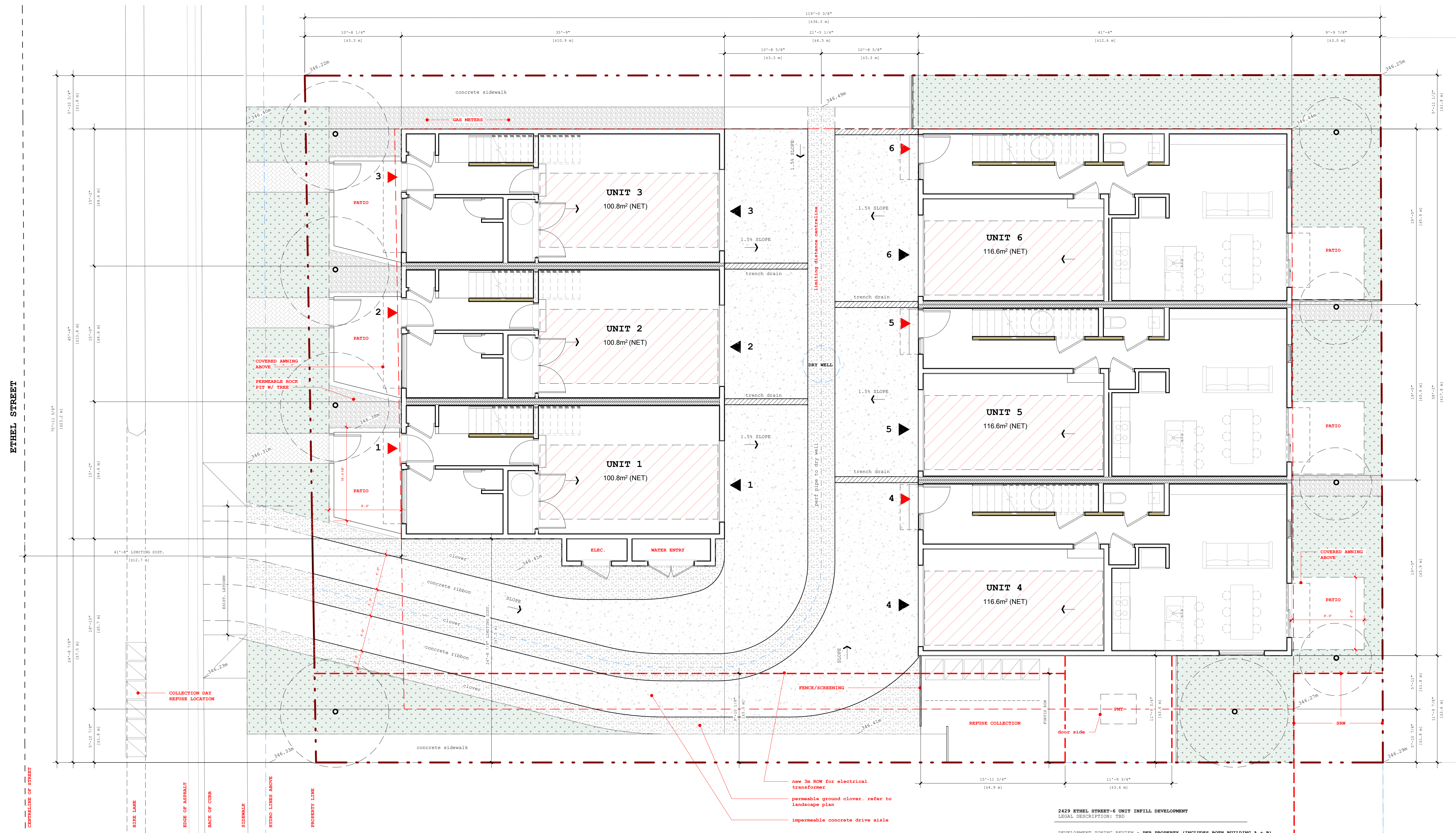
Revision Number 0

Drawing Number

NOT FOR CONSTRUCTION

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1 SITE PLAN - DP(Dependent)
3/16" = 1'-0"

2 ZONING REVIEW - DP
1 1/2" = 1'-0"

3 NET BUILDING AREAS - DP
1 1/2" = 1'-0"

NET BUILDING AREA - BUILDING A			NET BUILDING AREA - BUILDING B		
	ft ²	m ²		ft ²	m ²
LEVEL 1	180	16.7	LEVEL 1	525	48.7
LEVEL 2	446	41.4	LEVEL 2	730	67.8
LEVEL 3	459	42.6		-	-
TOTAL	1085	100.8	TOTAL	1255	116.6

2429 ETHEL STREET-6 UNIT INFILL DEVELOPMENT
LEGAL DESCRIPTION: TBD

DEVELOPMENT SONING REVIEW - PER PROPERTY (INCLUDES BOTH BUILDING A + B)

CURRENT ZONING	MFI	REQUIRED	PROVIDED
-	-	836.8 m ²	-
PARCEL SIZE:	-	23.2 m	-
LOT WIDTH	-	36.3 m	-
LOT DEPTH	-	-	-
NUMBER OF UNITS	6	6	6
BUILDING AREA	-	379 m ²	-
NET FLOOR AREA	-	652.2 m ²	-
FLOOR AREA RATIO	-	0.78	-
3 RD FLOORPLATE % OF 2 ND	70%	40.9%	-
MAX LOT COVERAGE	55%	45.3%	-
SITE COVERAGE (IMPERMEABLE)	75%	74.2%	-
MAX BUILDING HEIGHT	11 m	9.75 m	-
PARKING	1 PER UNIT	6	-
SETBACKS			
FRONT YARD (WEST)	3.0 m	3.0 m	-
SIDE YARD (NORTH)	1.8 m	1.8 m	-
REAR YARD (EAST)	3.0 m	3.0 m	-
SIDE YARD (SOUTH)	1.8 m	3.5 m	-

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Project: ETHEL STREET

6-UNIT INFILL

2429 ETHEL ST., KELOWNA, BC

Sheet Title

SITE PLAN, ZONING SUMMARY, UNIT AREAS

Job Number: 24-033

Date: 25 01 13

Scale: As indicated

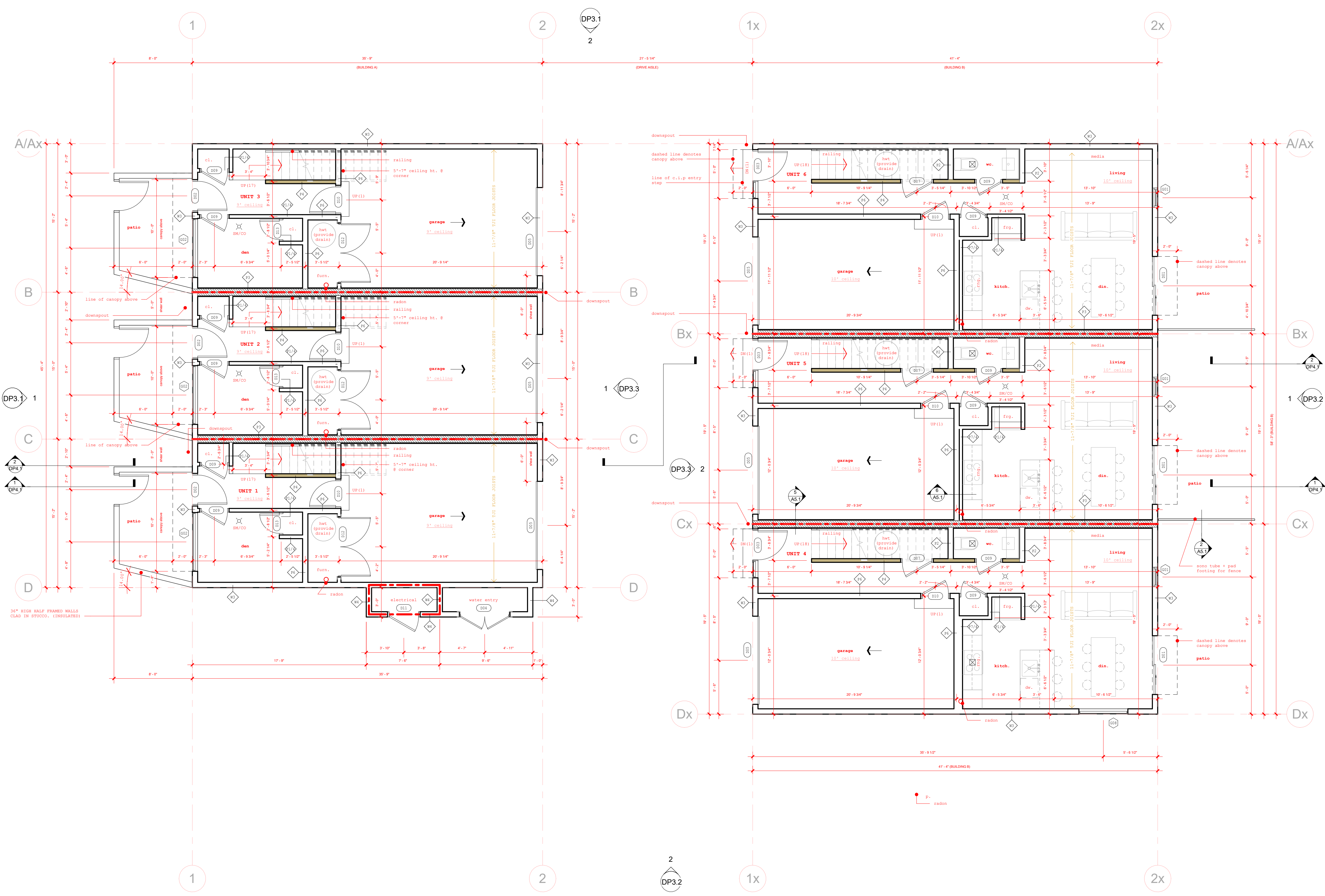
Revision Number: 0

Drawing Number

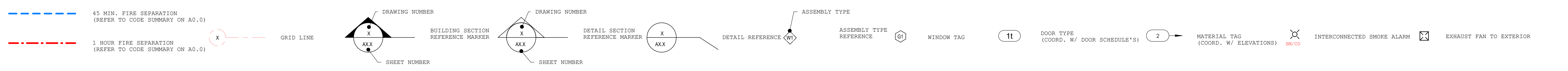
GENERAL NOTES:

- SEE STRUCT. FOR ALL PLYWOOD SHEATHING, LOAD BEARING STUD WALL SIZES, SPACING AND FRAMING DETAILS.
- WALL FINISHES (SEE INTERIOR).
- PROVIDE SOLID WOOD BLOCKING FOR ALL ACCESSORIES/FIXTURES/EQUIPMENT ON WOOD FRAME PARTITIONS.
- CALL WORK SUPPLIER TO PROVIDE BLOCKING LOCATIONS PRIOR TO FRAMING COMPLETION.
- SHEAR WALL LOCATIONS TO BE CONFIRMED BY STRUCT. (IGWB NOTED IN WALL ASSEMBLIES TO BE APPLIED OVER SHEAR PLYWOOD, SEE STRUCT.)
- ENSURE GWB FACE MATCHES CORRIDOR/PARTY WALL FACE WHERE APPLICABLE (SEE PLANS).
- ADD PLYWOOD SPACERS OVER FACE OF STUDS AS REQUIRED TO ALIGN WALL FINISHES.
- ALL INTERIOR DIMENSIONS ARE TO CENTRELINE OF STUDS UNLESS OTHERWISE NOTED.
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING & FACE OF CONCRETE UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WINDOWS IN WOOD STUD WALLS SHALL BE DIMENSIONED TO CENTRE OF ROUGH OPENING.
- BEAMS AND HEADERS TO BE ENGINEERED UNLESS OTHERWISE SPECIFIED. ENGINEER TO NOTIFY ARCHITECT WHERE FLUSH BEAMS ARE NOT FEASIBLE.
- FOR ALL FLOOR JOISTS AND ROOF TRUSSES COORDINATE WITH MANUFACTURER/SUPPLIER SHOP DRAWINGS.

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SYMBOL LEGEND:



FIRESTOPPING NOTES:

- ALL PENETRATIONS OF FIRE RATED ASSEMBLIES OF FLOOR/ROOFS AND LOADING NON-LOADING BEARING WALLS TO:
- BE FIRE STOPPED FOR ALL PENETRATIONS INTO THE WALL/FLOOR AND BE FIRE STOPPED FOR ALL PENETRATIONS EXITING THE FIRE RATED ASSEMBLY
 - APPROVED PRODUCTS IS (ULC TESTED):
-HETI FIRE STOP
-3M FIRE STOP
 - ALL GYPROCK MATERIALS USED TO ESTABLISH A FIRE RATED ASSEMBLY SHALL BE 5/8\"/>

ADDITIONAL NOTES:

- BEDROOM EGRESS: ENSURE THAT WINDOWS IN ALL BEDROOMS HAVE A MINIMUM AREA OF 0.35m² WITH AN UNOBSTRUCTED HEIGHT AND WIDTH OF 300mm (12\"/>

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ETHEL STREET

6-UNIT INFILL

2429 ETHEL ST., KELOWNA, BC

Sheet Title

FLOOR PLAN LEVEL 1

Job Number 24-033

Date 25 01 13

Scale As indicated

Revision Number 0

Drawing Number

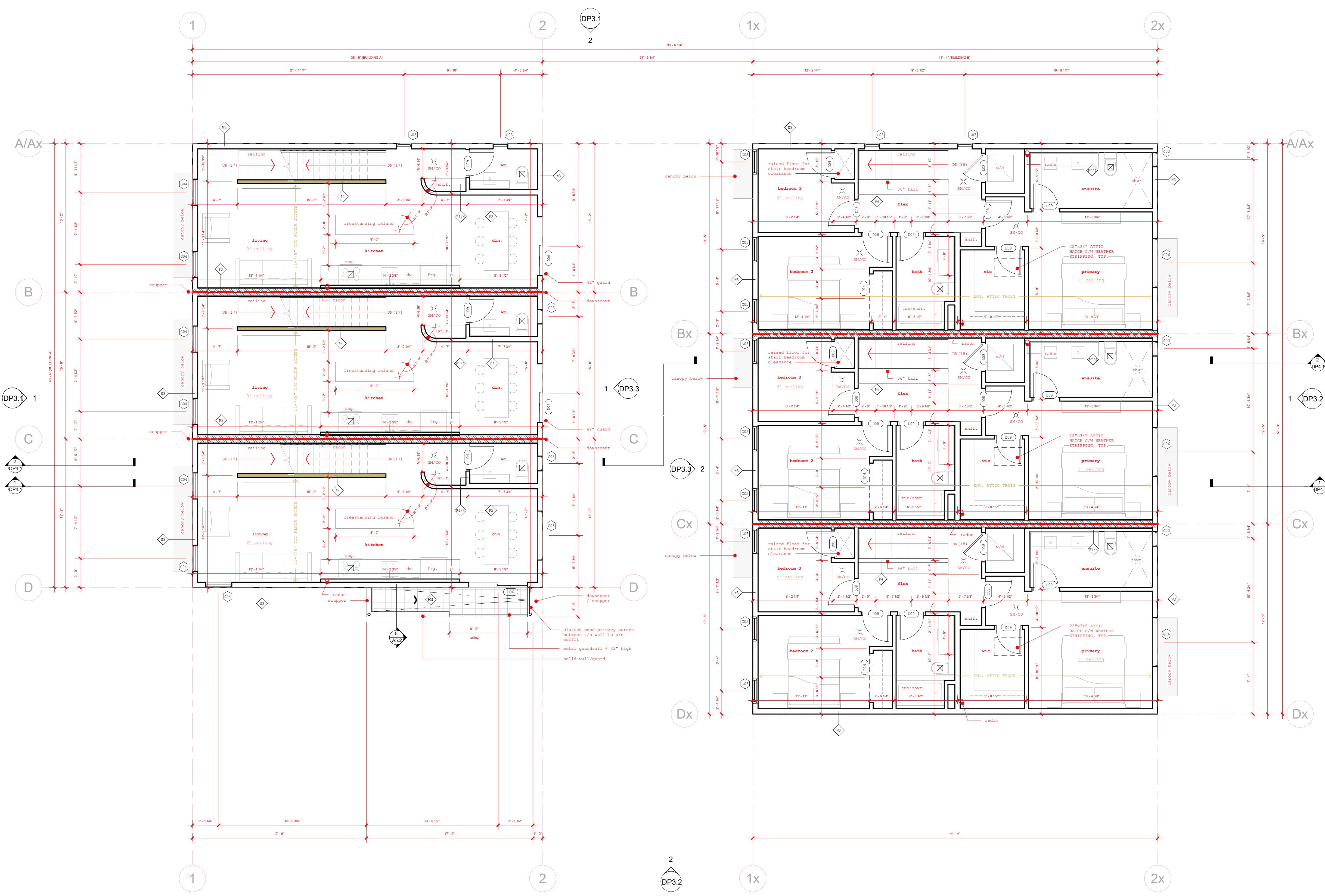
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DP2.1

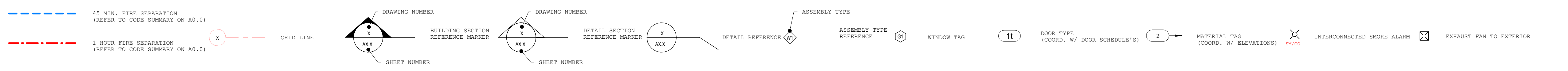
GENERAL NOTES:

- SEE STRUCT. FOR ALL PLYWOOD SHEATHING, LOAD BEARING STUD WALL SIZES, SPACING AND FRAMING DETAILS.
- WALL FINISHES (SEE INTERIOR).
- PROVIDE SOLID WOOD BLOCKING FOR ALL ACCESSORIES/FIXTURES/EQUIPMENT ON WOOD FRAME PARTITIONS.
- MILLWORK SUPPLIER TO PROVIDE BLOCKING LOCATIONS PRIOR TO FRAMING COMPLETION.
- SHEAR WALL LOCATIONS TO BE CONFIRMED BY STRUCT. (GWB NOTED IN WALL ASSEMBLIES TO BE APPLIED OVER SHEAR PLYWOOD, SEE STRUCT.).
- ENSURE GWB FACE MATCHES CORRIDOR/PARTY WALL FACE WHERE APPLICABLE (SEE PLANS).
- ADD PLYWOOD SPACERS OVER FACE OF STUDS AS REQUIRED TO ALIGN WALL FINISHES.
- ALL INTERIOR DIMENSIONS ARE TO CENTRELINE OF STUDS UNLESS OTHERWISE NOTED.
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING & FACE OF CONCRETE UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WINDOWS IN WOOD STUD WALLS SHALL BE DIMENSIONED TO CENTRE OF ROUGH OPENING.
- BEAMS AND HEADERS TO BE ENGINEERED UNLESS OTHERWISE SPECIFIED. ENGINEER TO NOTIFY ARCHITECT WHERE FLUSH BEAMS ARE NOT FEASIBLE.
- FOR ALL FLOOR JOISTS AND ROOF TRUSSES COORDINATE WITH MANUFACTURER/SUPPLIER SHOP DRAWINGS.

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SYMBOL LEGEND:



FIRESTOPPING NOTES:

- ALL PENETRATIONS OF FIRE RATED ASSEMBLIES OF FLOOR/ROOFS AND LOADING NON-LOADING BEARING WALLS TO:
- BE FIRE STOPPED FOR ALL PENETRATIONS INTO THE WALL/FLOOR AND BE FIRE STOPPED FOR ALL PENETRATIONS EXITING THE FIRE RATED ASSEMBLY
 - APPROVED PRODUCTS IS (ULC TESTED):
-1/2" FIRE STOP
-3M FIRE STOP
 - ALL GYPROCK MATERIALS USED TO ESTABLISH A FIRE RATED ASSEMBLY SHALL BE 5/8" TYPE X DRYWALL
 - ALL JOINTS SHALL BE FIRE STOPPED OR ALTERNATELY BE DOUBLE LAPED A MINIMUM OF 6" EACH WAY AND SECURED TO STRUCTURE.

ADDITIONAL NOTES:

- BEDROOM EGRESS: ENSURE THAT WINDOWS IN ALL BEDROOMS HAVE A MINIMUM AREA OF 0.35sqm WITH AN UNOBSTRUCTED HEIGHT AND WIDTH OF 300mm (12"). THE WINDOW SHALL BE A MAXIMUM OF 1.5m (5') ABOVE FINISHED FLOOR LEVEL.
- BEDROOM WINDOW WELL: MINIMUM 5' CLEARANCE. PROVIDE DRAINAGE, EGRESS LADDER REQUIRED IF OVER 5'.
- WATERPROOF WALL(S): AS PER 9.20.2.1 SHOWERS REQUIRE MINIMUM 1" CURB

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Project
ETHEL STREET
6-UNIT INFILL
2429 ETHEL ST., KELOWNA, BC
Sheet Title
FLOOR PLAN LEVEL 2

Job Number	24-033
Date	25 01 13
Scale	As Indicated
Revision Number	0
Drawing Number	

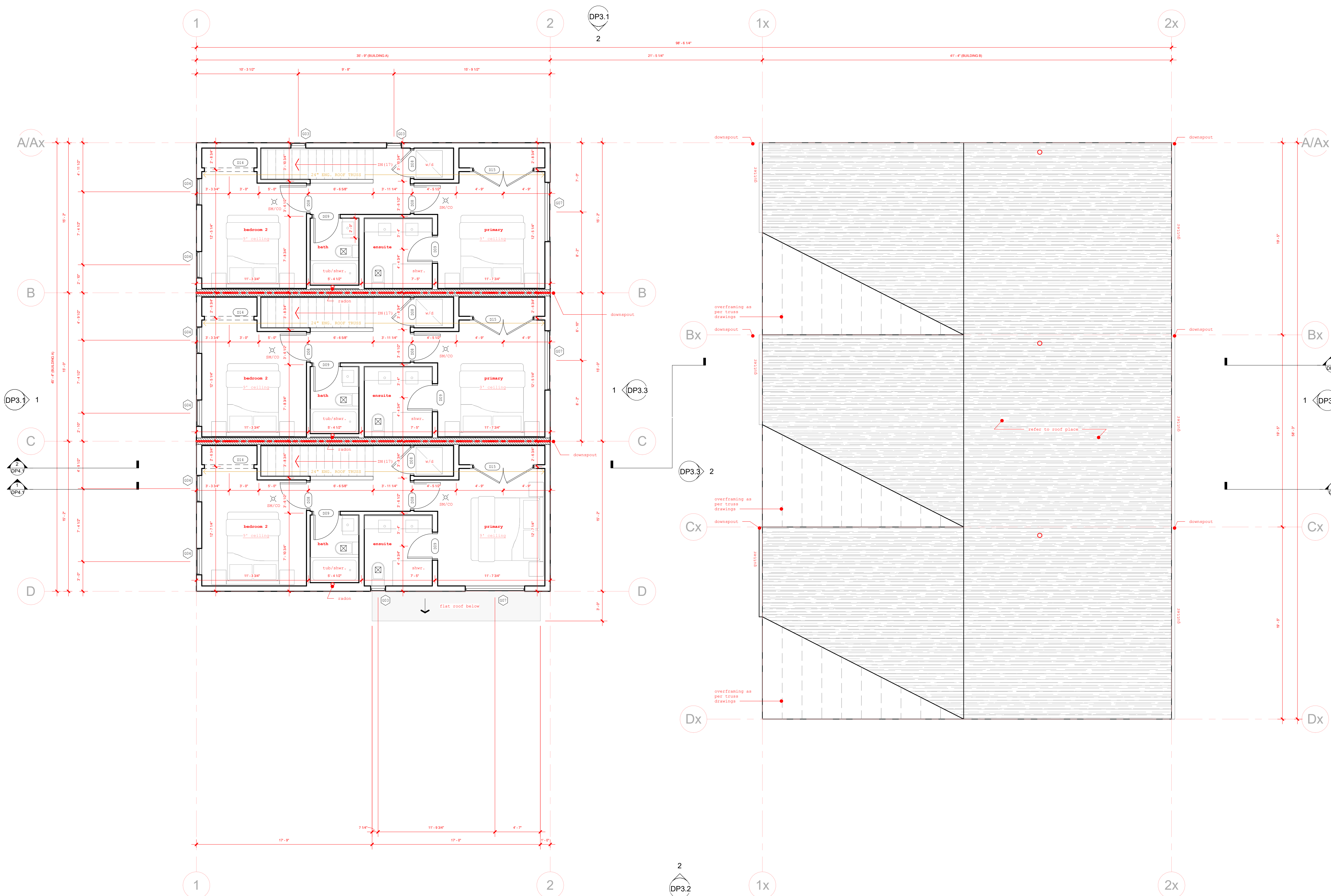
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DP2.2

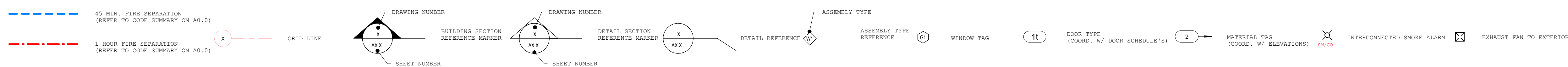
GENERAL NOTES:

- SEE STRUCT. FOR ALL PLYWOOD SHEATHING, LOAD BEARING STUD WALL SIZES, SPACING AND FRAMING DETAILS.
- WALL FINISHES (SEE INTERIOR)
- PROVIDE SOLID WOOD BLOCKING FOR ALL ACCESSORIES/FIXTURES/EQUIPMENT ON WOOD FRAME PARTITIONS.
- CALLWORK SUPPLIER TO PROVIDE BLOCKING LOCATIONS PRIOR TO FRAMING COMPLETION.
- SHEAR WALL LOCATIONS TO BE CONFIRMED BY STRUCT. (GWB NOTED IN WALL ASSEMBLIES TO BE APPLIED OVER SHEAR PLYWOOD, SEE STRUCT.)
- ENSURE GWB FACE MATCHES CORRIDOR/PARTY WALL FACE WHERE APPLICABLE (SEE PLANS)
- ADD PLYWOOD SPACERS OVER FACE OF STUDS AS REQUIRED TO ALIGN WALL FINISHES.
- ALL INTERIOR DIMENSIONS ARE TO CENTRELINE OF STUDS UNLESS OTHERWISE NOTED.
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING & FACE OF CONCRETE UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WINDOWS IN WOOD STUD WALLS SHALL BE DIMENSIONED TO CENTRE OF ROUGH OPENING.
- BEAMS AND HEADERS TO BE ENGINEERED UNLESS OTHERWISE SPECIFIED. ENGINEER TO NOTIFY ARCHITECT WHERE FLUSH BEAMS ARE NOT FEASIBLE.
- FOR ALL FLOOR JOISTS AND ROOF TRUSSES COORDINATE WITH MANUFACTURER/SUPPLIER SHOP DRAWINGS.

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SYMBOL LEGEND:



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- ALL PENETRATIONS OF FIRE RATED ASSEMBLIES OF FLOOR/ROOFS AND LOADING NON-LOADING BEARING WALLS TO:
- BE FIRE STOPPED FOR ALL PENETRATIONS INTO THE WALL/FLOOR AND BE FIRE STOPPED FOR ALL PENETRATIONS EXITING THE FIRE RATED ASSEMBLY
 - APPROVED PRODUCTS IS (ULC TESTED):
-1/2" FIRE STOP
-3M FIRE STOP
 - ALL GYPROCK MATERIALS USED TO ESTABLISH A FIRE RATED ASSEMBLY SHALL BE 5/8" TYPE X DRYWALL
 - ALL JOINTS SHALL BE FIRE STOPPED OR ALTERNATELY BE DOUBLE LAPED A MINIMUM OF 6" EACH WAY AND SECURED TO STRUCTURE.

ADDITIONAL NOTES:

- BEDROOM EGRESS: ENSURE THAT WINDOWS IN ALL BEDROOMS HAVE A MINIMUM AREA OF 0.35sqm WITH AN UNOBSTRUCTED HEIGHT AND WIDTH OF 300mm (12") THE WINDOW SHALL BE A MAXIMUM OF 1.5m (5') ABOVE FINISHED FLOOR LEVEL.
- BEDROOM WINDOW WELL: MINIMUM 5' CLEARANCE, PROVIDE DRAINAGE, EGRESS LADDER REQUIRED IF OVER 5'
- WATERPROOF WALL(S): AS PER 9.20.2.1 SHOWERS REQUIRE MINIMUM 1" CURB

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Project

ETHEL STREET

6-UNIT INFILL

2429 ETHEL ST., KELOWNA, BC

Sheet Title

FLOOR PLAN LEVEL 3

Job Number 24-033

Date 25 01 13

Scale As indicated

Revision Number 0

Drawing Number

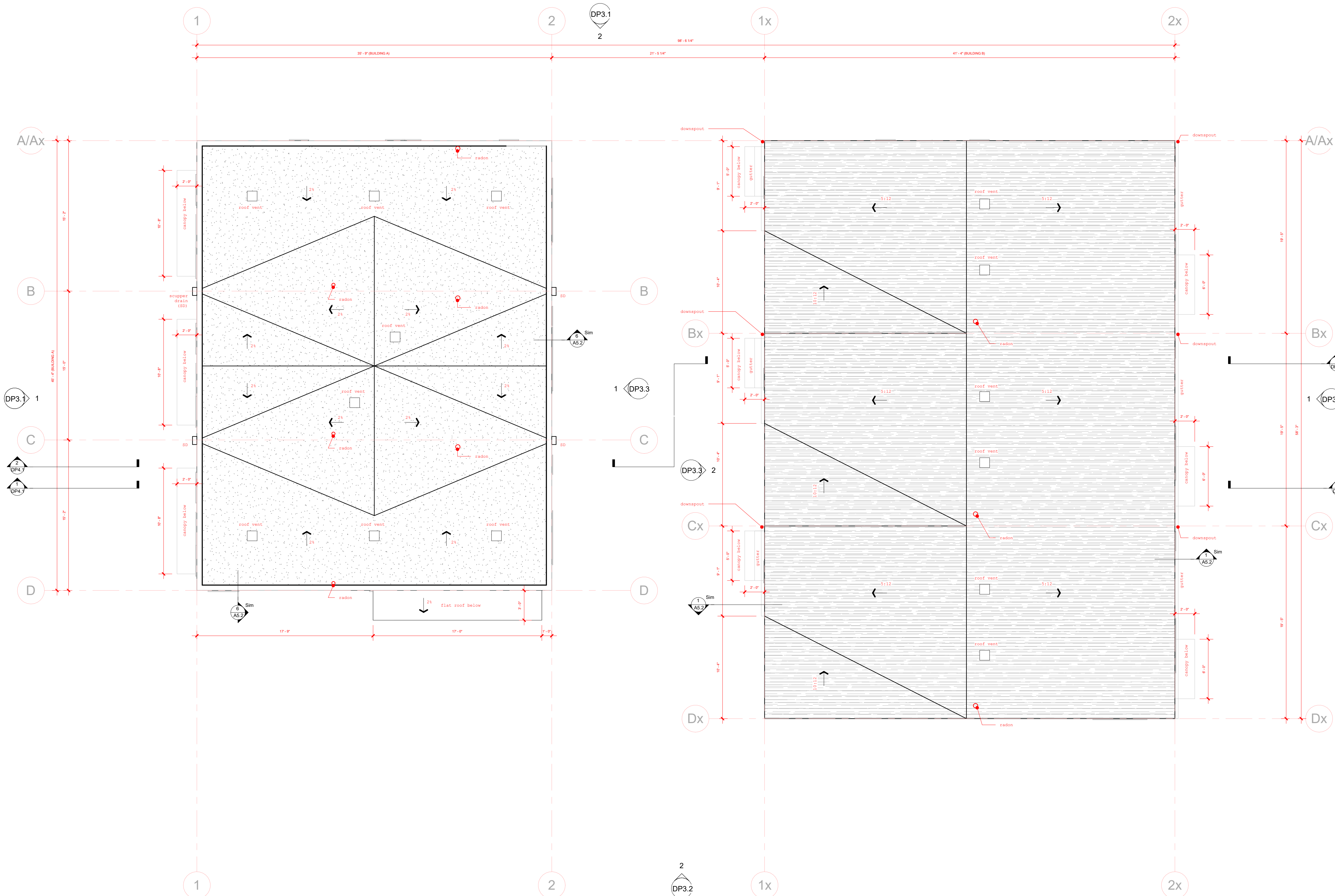
NOT FOR CONSTRUCTION

DP2.3

GENERAL NOTES:

- SEE STRUCT. FOR ALL PLYWOOD SHEATHING, LOAD BEARING STUD WALL SIZES, SPACING AND FRAMING DETAILS.
- WALL FINISHES (SEE INTERIOR)
- PROVIDE SOLID WOOD BLOCKING FOR ALL ACCESSORIES/FIXTURES/EQUIPMENT ON WOOD FRAME PARTITIONS.
- CALLWORK SUPPLIER TO PROVIDE BLOCKING LOCATIONS PRIOR TO FRAMING COMPLETION.
- SHEAR WALL LOCATIONS TO BE CONFIRMED BY STRUCT. (GWB NOTED IN WALL ASSEMBLIES TO BE APPLIED OVER SHEAR PLYWOOD. SEE STRUCT.)
- ENSURE GWB FACE MATCHES CORRIDOR/PARTY WALL FACE WHERE APPLICABLE (SEE PLANS)
- ADD PLYWOOD SPACERS OVER FACE OF STUDS AS REQUIRED TO ALIGN WALL FINISHES.
- ALL INTERIOR DIMENSIONS ARE TO CENTRELINE OF STUDS UNLESS OTHERWISE NOTED.
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING & FACE OF CONCRETE UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WINDOWS IN WOOD STUD WALLS SHALL BE DIMENSIONED TO CENTRE OF ROUGH OPENING.
- BEAMS AND HEADERS TO BE ENGINEERED UNLESS OTHERWISE SPECIFIED. ENGINEER TO NOTIFY ARCHITECT WHERE FLUSH BEAMS ARE NOT FEASIBLE.
- FOR ALL FLOOR JOISTS AND ROOF TRUSSES COORDINATE WITH MANUFACTURER/SUPPLIER SHOP DRAWINGS.

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SYMBOL LEGEND:

- 45 MIN. FIRE SEPARATION (REFER TO CODE SUMMARY ON A0.0)
- - - 1 HOUR FIRE SEPARATION (REFER TO CODE SUMMARY ON A0.0)
- X GRID LINE
- DRAWING NUMBER
- BUILDING SECTION REFERENCE MARKER
- DETAIL SECTION REFERENCE MARKER
- SHEET NUMBER
- SHEET NUMBER
- ASSEMBLY TYPE
- ASSEMBLY TYPE REFERENCE
- WINDOW TAG
- 1t DOOR TYPE (COORD. W/ DOOR SCHEDULE'S)
- 2 MATERIAL TAG (COORD. W/ ELEVATIONS)
- INTERCONNECTED SMOKE ALARM
- EXHAUST FAN TO EXTERIOR

FIRESTOPPING NOTES:

- ALL PENETRATIONS OF FIRE RATED ASSEMBLIES OF FLOOR/ROOFS AND LOADING NON-LOADING BEARING WALLS TO:
- BE FIRE STOPPED FOR ALL PENETRATIONS INTO THE WALL/FLOOR AND BE FIRE STOPPED FOR ALL PENETRATIONS EXITING THE FIRE RATED ASSEMBLY
 - HIT FIRE STOP
 - 3M FIRE STOP
 - APPROVED PRODUCTS IS (ULC TESTED):
 - ALL GYPROCK MATERIALS USED TO ESTABLISH A FIRE RATED ASSEMBLY SHALL BE 5/8" TYPE X DRYWALL
 - ALL JOINTS SHALL BE FIRE STOPPED OR ALTERNATELY BE DOUBLY LAPED A MINIMUM OF 6" EACH WAY AND SECURED TO STRUCTURE.

ADDITIONAL NOTES:

- BEDROOM EGRESS: ENSURE THAT WINDOWS IN ALL BEDROOMS HAVE A MINIMUM AREA OF 0.30sqm WITH AN UNOBSTRUCTED HEIGHT AND WIDTH OF 300mm (12"). THE WINDOW SHALL BE A MAXIMUM OF 1.5m (5') ABOVE FINISHED FLOOR LEVEL.
- BEDROOM WINDOW WELL: MINIMUM 5' CLEARANCE. PROVIDE DRAINAGE. EGRESS LADDER REQUIRED IF OVER 5'.
- WATERPROOF WALL(S): AS PER 9.20.2.1 SHOWERS REQUIRE MINIMUM 1" CURB

NO.	DATE	DESCRIPTION
4	25 01 13	ISSUED FOR DP
3	25 01 09	ISSUED FOR PRICING
1	24 10 05	ISSUED FOR REVIEW

Project

ETHEL STREET

6-UNIT INFILL

2429 ETHEL ST., KELOWNA, BC

Sheet Title

ROOF PLAN

Job Number 24-033

Date 25 01 13

Scale As indicated

Revision Number 0

Drawing Number

NOT FOR CONSTRUCTION

DP2.4

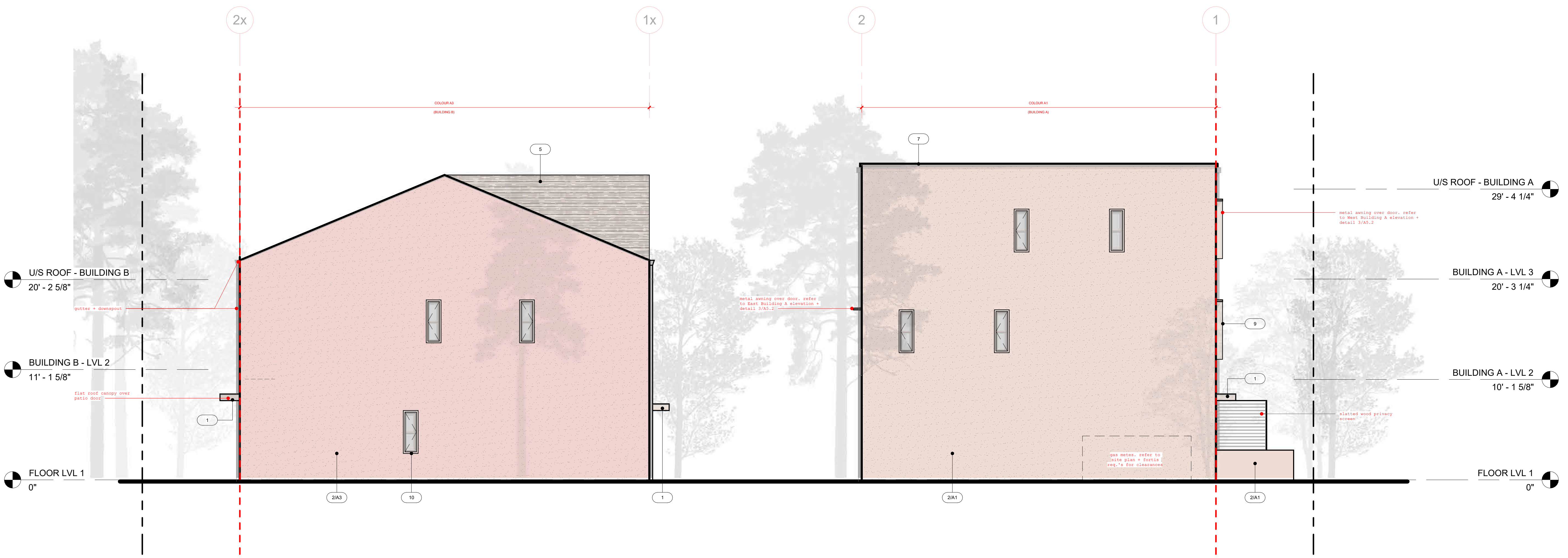


1 BUILDING A - WEST ELEVATION - DP
3/16" = 1'-0"

MATERIAL LEGEND:

MATERIAL	DESCRIPTION / COLOUR
1	MATERIAL 1: FIBRE CEMENT TRIM BOARD COLOUR: CLOVERDALE 0266 - OCTOBER HARVEST STYLE: SMOOTH
2	MATERIAL 2: STUCCO FINISH: SMOOTH COLOUR: AS PER COLOUR SELECTION TABLE ON A6.1
3	MATERIAL 3: COMPOSITE WOOD PANEL COLOUR: BLOND ECHO STYLE: 3mm REYNOLBOND DESIGN LINE (MAX. WIDTH 62')
4	MATERIAL 4: EXPOSED ARCHITECTURAL CONCRETE COLOUR: LIGHT GREY, NATURAL STYLE: SACKED & SMOOTHED
5	MATERIAL 5: ASPHALT SHINGLE ROOF COLOUR: LIGHT GREY STYLE: -
6	MATERIAL 6: ALUMINUM GUARDRAIL *TO MATCH UNIT WHERE INSTALLED - REFER TO COLOUR COLOUR: SELECTION TABLE ON A6.1 STYLE: VERTICAL PICKET
7	MATERIAL 7: METAL TRIM/FLASHING/POST COLOUR: GALVANIZED OR PTD. LIGHT GREY STYLE: -
8	MATERIAL 8: GARAGE + ENTRY DOOR COLOUR: CLOVERDALE 0266 - OCTOBER HARVEST STYLE: SMOOTH
9	MATERIAL 9: WINDOW EYEBROW / SUN SHADE COLOUR: CLOVERDALE 0266 - OCTOBER HARVEST STYLE: PRE-FINISHED OR PTD. METAL/ ALUMINUM
10	MATERIAL 10: VINYL WINDOWS + DOORS COLOUR: BEIGE EXTERIOR, WHITE INTERIOR STYLE: AS PER ENERGY MODEL REPORT

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2 BUILDING ELEVATION - NORTH - DP
3/16" = 1'-0"

NO.	DATE	DESCRIPTION
4	25 01 13	ISSUED FOR DP
3	25 01 09	ISSUED FOR PRICING

Project

ETHEL STREET

6-UNIT INFILL

2429 ETHEL ST., KELLOWA, BC

Sheet Title

BUILDING ELEVATIONS

Job Number 24-033

Date 25 01 13

Scale As indicated

Revision Number 0

Drawing Number

NOT FOR CONSTRUCTION

DP3.1

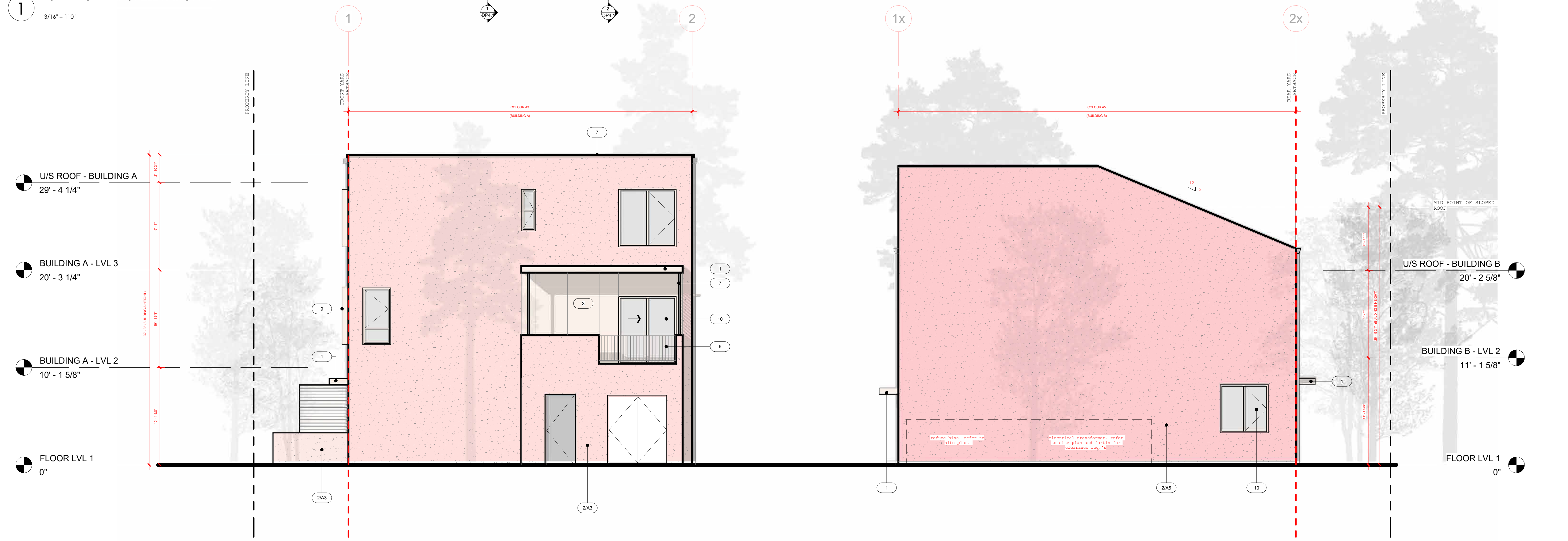
MATERIAL LEGEND:

MATERIAL	DESCRIPTION / COLOUR
1	MATERIAL 1: FIBRE CEMENT TRIM BOARD COLOUR: CLOVERDALE 0266 - OCTOBER HARVEST STYLE: SMOOTH
2	MATERIAL 2: STUCCO FINISH: SMOOTH COLOUR: AS PER COLOUR SELECTION TABLE ON A6.1
3	MATERIAL 3: COMPOSITE WOOD PANEL COLOUR: BLOND ECHO STYLE: 3mm REYNOLDBOND DESIGN LINE (MAX. WIDTH 62')
4	MATERIAL 4: EXPOSED ARCHITECTURAL CONCRETE COLOUR: LIGHT GREY, NATURAL STYLE: SACKED & SMOOTHED
5	MATERIAL 5: ASPHALT SHINGLE ROOF COLOUR: LIGHT GREY STYLE: -
6	MATERIAL 6: ALUMINUM GUARDRAIL *TO MATCH UNIT WHERE INSTALLED - REFER TO COLOUR SELECTION TABLE ON A6.1 STYLE: VERTICAL PICKET
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1 BUILDING B - EAST ELEVATION - DP
 3/16" = 1'-0"



2 BUILDING ELEVATION - SOUTH - DP
 3/16" = 1'-0"

NO.	DATE	DESCRIPTION
4	25 01 13	ISSUED FOR DP
3	25 01 09	ISSUED FOR PRICING

Project

ETHEL STREET

6-UNIT INFILL

2429 ETHEL ST., KELOWNA, BC

Sheet Title

BUILDING ELEVATIONS

Job Number 24-033

Date 25 01 13

Scale As indicated

Revision Number 0

Drawing Number

MATERIAL LEGEND:

MATERIAL	DESCRIPTION / COLOUR
1	MATERIAL 1: FIBRE CEMENT TRIM BOARD COLOUR: CLOVERDALE 0266 - OCTOBER HARVEST STYLE: SMOOTH
2	MATERIAL 2: STUCCO FINISH: SMOOTH COLOUR: AS PER COLOUR SELECTION TABLE ON A6.1
3	MATERIAL 3: COMPOSITE WOOD PANEL BLOND ECHO STYLE: 3mm REYNOBOND DESIGN LINE (MAX. WIDTH 62")
4	MATERIAL 4: EXPOSED ARCHITECTURAL CONCRETE COLOUR: LIGHT GREY, NATURAL STYLE: SACKED & SMOOTHED
5	MATERIAL 5: ASPHALT SHINGLE ROOF COLOUR: LIGHT GREY STYLE: -
6	MATERIAL 6: ALUMINUM GUARDRAIL *TO MATCH UNIT WHERE INSTALLED - REFER TO COLOUR COLOUR: SELECTION TABLE ON A6.1 STYLE: VERTICAL PICKET
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10	MATERIAL 10: VINYL WINDOWS + DOORS COLOUR: BEIGE EXTERIOR, WHITE INTERIOR STYLE: AS PER ENERGY MODEL REPORT

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1 BUILDING A - EAST ELEVATION - DP
3/16" = 1'-0"



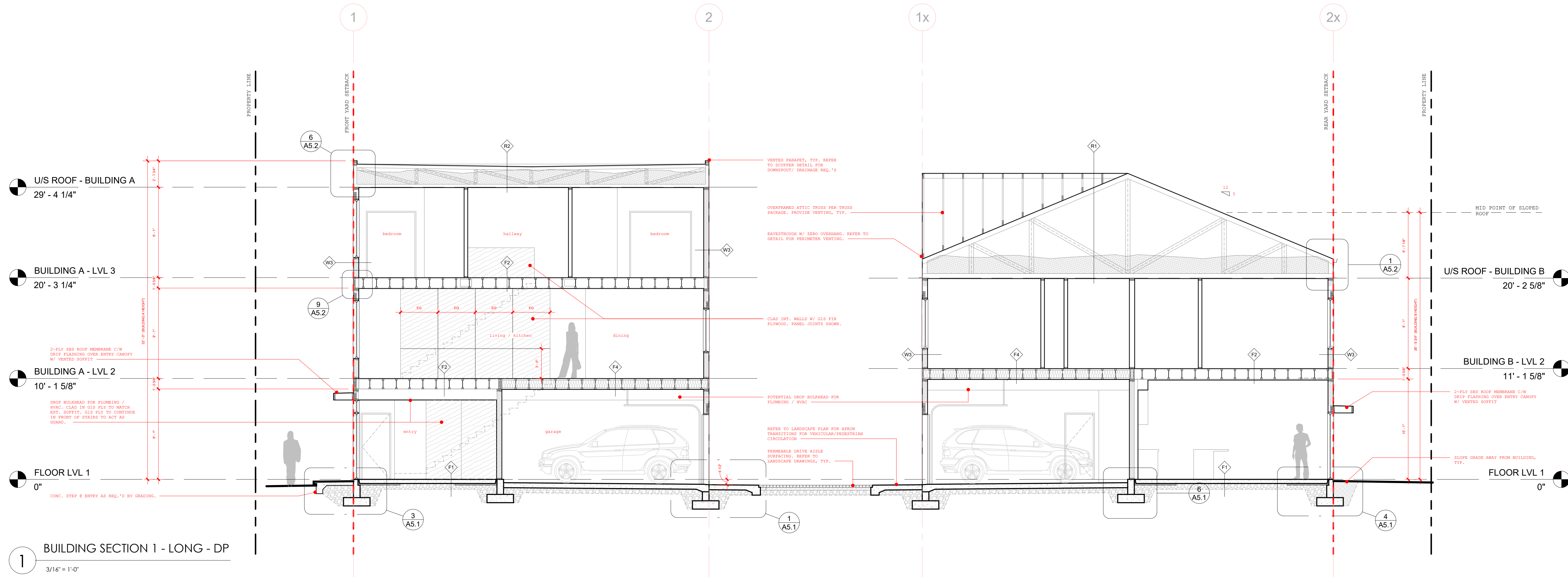
2 BUILDING B - WEST ELEVATION - DP
3/16" = 1'-0"

NO.	DATE	DESCRIPTION
4	25 01 13	ISSUED FOR DP
3	25 01 09	ISSUED FOR PRICING

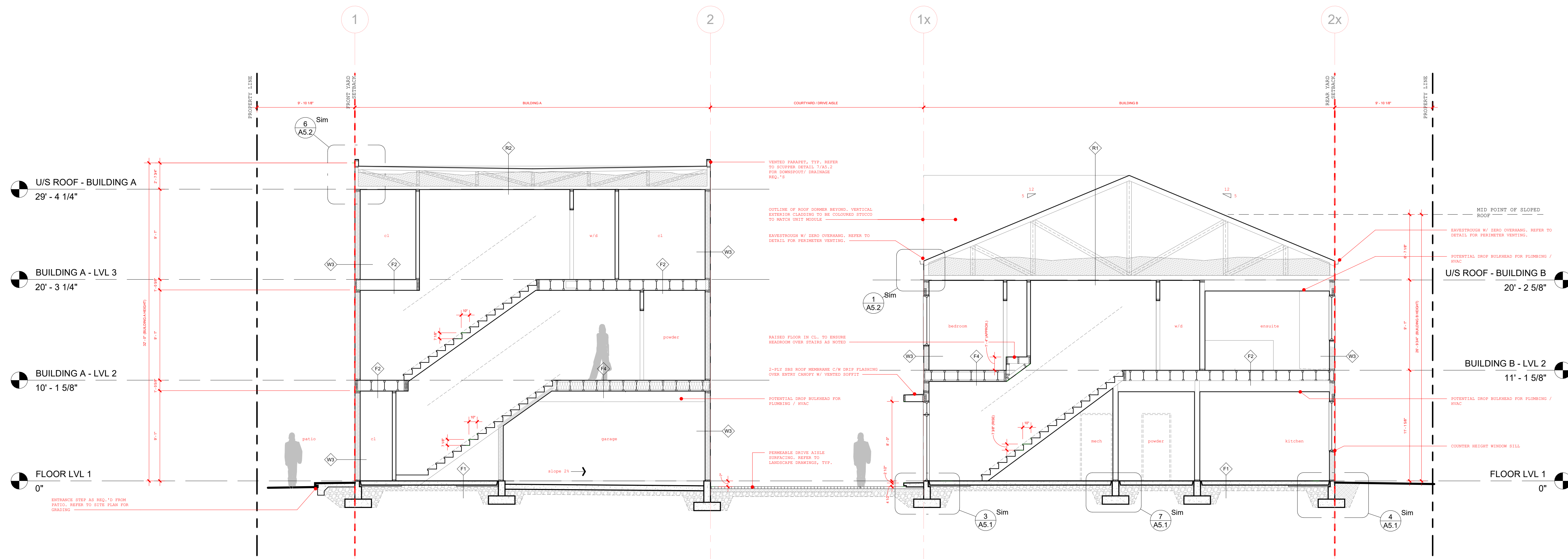
Project
ETHEL STREET
6-UNIT INFILL
2429 ETHEL ST., KELOWNA, BC

Sheet Title
BUILDING ELEVATIONS (COURTYARD)
Job Number: 24-033
Date: 25 01 13
Scale: As indicated
Revision Number: 0
Drawing Number:

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1 BUILDING SECTION 1 - LONG - DP
3/16" = 1'-0"



2 BUILDING SECTION 2 - LONG - DP
3/16" = 1'-0"

NO.	DATE	DESCRIPTION
4	25 01 13	ISSUED FOR DP
3	25 01 09	ISSUED FOR PRICING

Project
ETHEL STREET
6-UNIT INFILL
2429 ETHEL ST., KELOWNA, BC
Sheet Title
BUILDING SECTIONS
Job Number 24-033
Date 25 01 13
Scale 3/16" = 1'-0"
Revision Number 0
Drawing Number

MATERIAL 1 - TRIM



PAINT COLOUR FOR TRIM, FASCIA BOARD, SUN SHADES, SOLID ENTRY DOOR, SOLID GARAGE DOOR, CANOPIES.
*COLOUR IS BASED ON CLOVERDALE PAINTS.

MATERIAL 10 - VINYL WINDOWS + DOORS

PLYMEX OR APPROVED EQUAL
2 OR 3-PLY BASED ON ENERGY REPORT
COLOUR - BEIGE EXTERIOR, WHITE INTERIOR
REFER TO BUILDING ELEVATION FOR OPERABLE PORTIONS



MATERIAL 7 - METAL



PREFINISHED OR PAINTED METAL
COLOUR - GALVANIZED, OR LIGHT GREY AS SHOWN
INCLUDES ALL SCUPPER BOXES, DOWNSPOUTS AND GUTTERS

MATERIAL 3 - WOOD PANEL



3mm COMPOSITE WOOD VENEERED PANEL
COLOUR - BLOND ECHO
MANUFACTURER - REYNOLBOND

SLATTED WOOD PRIVACY SCREEN
COLOUR - TO MATCH MATERIAL 1

ROUND STEEL POST, MATERIAL 7, GALVANIZED OR PTD. LIGHT-GREY

GUARDRAIL - TO BE COLOUR MATCHED TO UNIT WHERE INSTALLED. IN THIS CASE, COLOUR A3



PERSPECTIVE STREET VIEW



PERSPECTIVE DRIVE AISLE

MATERIAL LEGEND:

MATERIAL	DESCRIPTION / COLOUR
1	MATERIAL 1: FIBRE CEMENT TRIM BOARD COLOUR: CLOVERDALE 0266 - OCTOBER HARVEST STYLE: SMOOTH
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10	MATERIAL 10: VINYL WINDOWS + DOORS COLOUR: BEIGE EXTERIOR, WHITE INTERIOR STYLE: AS PER ENERGY MODEL REPORT

COLOUR SELECTIONS

Colour selections are based on Cloverdale Paint. Alterations must be approved by SINDBOX

Tiny Pink 1063 A1	Mystic Tulip 1064 A2	Rose Essence 1065 A3
Rose Essence 1065 A3	Sari 1066 A4	Bay Coral 1087 A5
Brush Blue 0607 B1	Surf's Surprise 0593 B2	Babbling Creek 0588 B3

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NO.	DATE	DESCRIPTION
3	25 01 09	ISSUED FOR PRICING

Project
ETHEL STREET
6-UNIT INFILL
2429 ETHEL ST., KELLOWNA, BC
Sheet Title
MATERIAL BOARD

Job Number 24-033
Date 25 01 13
Scale 1/2" = 1'-0"
Revision Number 0
Drawing Number

NOT FOR CONSTRUCTION

DP6.1



SNDBOX
+
ADDY
+
PERFORMANCE DYNAMIC CONSTRUCTORS

2429 Ethel Street, Kelowna, BC
Development Permit Application
25 01 13

2429 ETHEL STREET - SIX UNIT INFILL

SNDBOX

LEGAL DESCRIPTION

Lot 2, DL 136, ODYD, Plan 27546

CIVIC ADDRESS

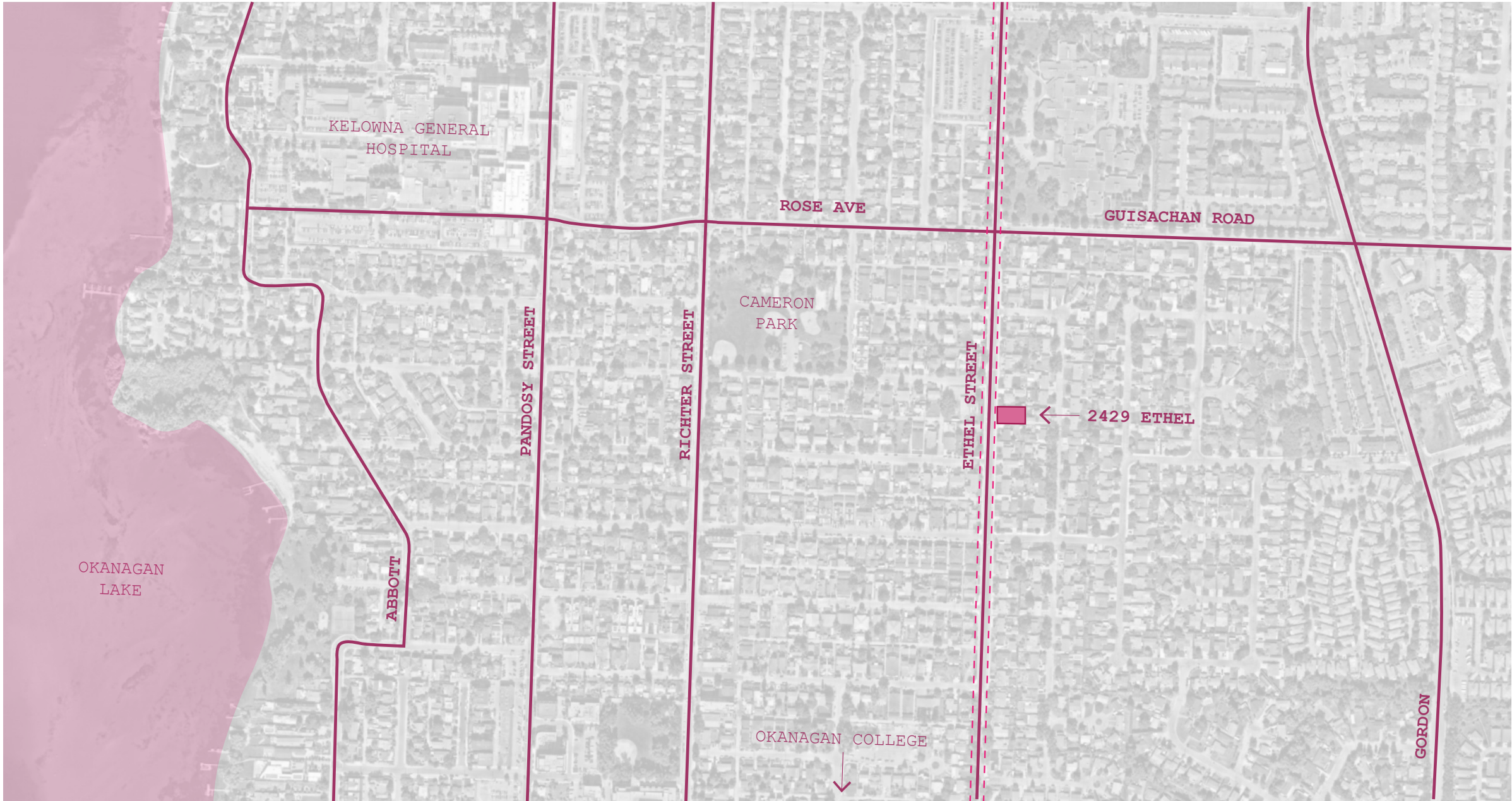
2429 Ethel Street, Kelowna, BC

OWNER

GGROUP + ADDY

ARCHITECTURE + DESIGN

Aaron Whalen, SNDBOX
Kelowna, BC
250 808 4718



ZONING SUMMARY

Lot 2, DL 136, ODYD, Plan 27546

CURRENT ZONING	MF1	
	REQUIRED	PROVIDED
PARCEL SIZE	-	836.8m2
LOT WIDTH	-	23.2m
LOT DEPTH	-	36.3m
NUMBER OF UNITS	6	6
BUILDING AREA	-	379m2
NET FLOOR AREA	-	652.2m2
FLOOR AREA RATIO	-	0.78
3RD FLOORPLATE % OF 2ND	70%	40.9%
MAX LOT COVERAGE	55%	45.3%
SITE COVERAGE (IMPERMEABLE)	75%	74.2%
MAX BUILDING HEIGHT	11m	9.75m
PARKING	1 PER UNIT	6 (1 PER UNIT)

SETBACKS

FRONT YARD (WEST)	3.0 m	3.0 m
SIDE YARD (NORTH)	1.8 m	1.8 m
REAR YARD (EAST)	3.0 m	3.0 m
SIDE YARD (SOUTH)	1.8 m	3.5 m



A



B

S/ND/BOX





SNDBOX

DESIGN RATIONALE

January 13, 2025

City of Kelowna, Planning Department

re: 2429 Ethel Street, Development Permit Application

To whom it may concern,

Situated in Kelowna's vibrant Lower Mission neighbourhood, this 6-unit rental development offers a thoughtful approach to urban living. The site is strategically located near Kelowna General Hospital and Okanagan College, ideal for professionals, families, and students seeking proximity to key amenities. With construction and land prices at unprecedented levels, the project is designed to balance high-quality living with a modest budget, ensuring affordability without sacrificing function or style.

The three-storey design aligns with the city's goals for increasing density along active corridors, promoting sustainable modes of travel such as cycling and walking. Each ground-oriented unit features three bedrooms, open-concept living spaces, and a private garage, catering to the needs of modern families while maintaining a compact footprint. The project aligns with Kelowna's Official Community Plan and isn't asking for any variance to the MF1 zoning.

The project is divided into two buildings forming a central courtyard, which serves as a multifunctional space for both pedestrians and vehicles. The courtyard integrates permeable surfacing, softening its appearance and creating an inviting environment. This shared space also includes a thoughtfully designed outdoor garbage and recycling area, discreetly screened to minimize visual impact while maintaining easy access. Private patios are separated to enhance residents' comfort and privacy. The minimalist architecture prioritizes functionality and simplicity, while individuality is expressed through a vibrant palette of rose-toned hues. These subtle yet striking colours add energy and character to the active corridor, complemented by understated geometric elements that create visual interest without unnecessary embellishments.

This project responds to Kelowna's pressing need for new rental housing in key locations, delivering thoughtfully designed, sustainable homes in a highly desirable area. By focusing on affordability and environmental consciousness, it contributes to the city's vision for balanced and inclusive growth. Our team looks forward to your support in response to this application. Please do not hesitate to contact our office if there are any questions or additional information is needed.

Regards,



Aaron Whalen, Principal, **SNDBOX**

2508084718

aaron@sndbox.ca

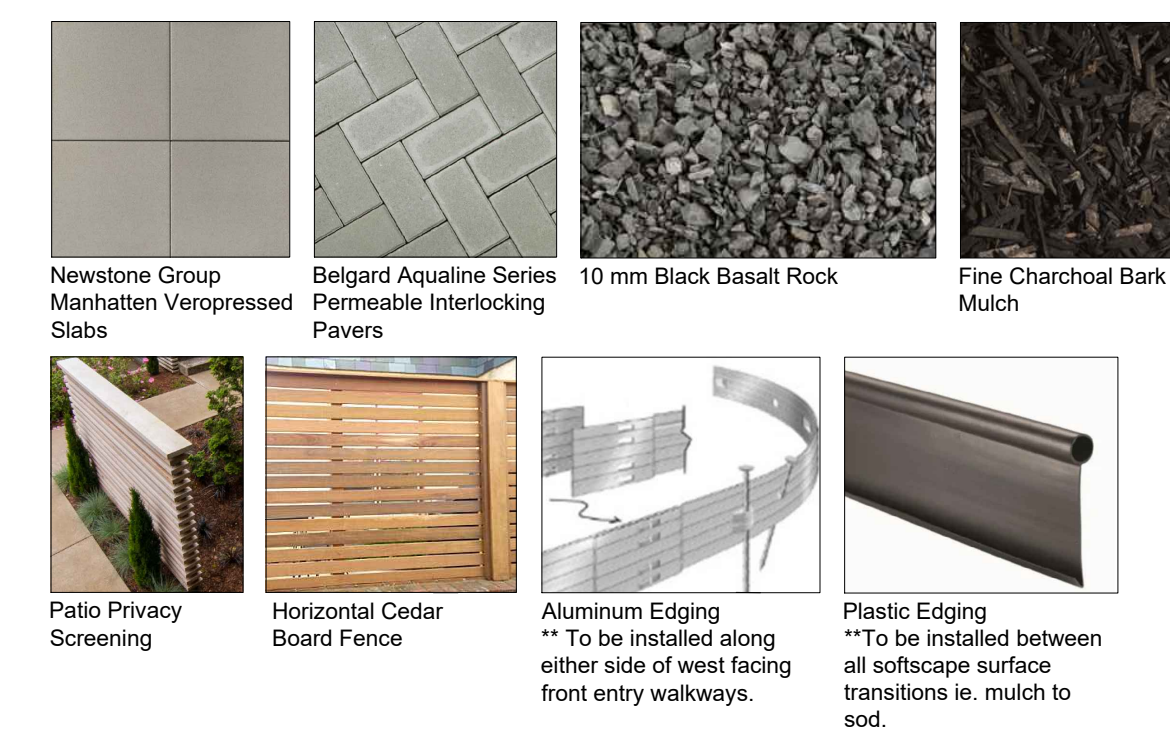
PLANT LIST

TREES				
KEY	QTY	BOTANICAL NAME	COMMON NAME	MIN. CALIPER SIZE
	3	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	4 cm
	1	Cercis occidentalis	Western Redbud	4 cm
	1	Crataegus oxyacantha 'Paul's Scarlet'	Paul's Scarlet Hawthorn	4 cm
	3	Ginkgo biloba 'Fastigiata'	Columnar Ginkgo	4 cm
	1	Parrotia persica	Persian Ironwood	4 cm
SHRUBS				
KEY	QTY	BOTANICAL NAME	COMMON NAME	POT SIZE
	3	Euonymus alata 'Compactus'	Dwarf Burning Bush	# 3 pot
	10	Taxus x media 'Hicksii'	Hick's Yew	# 5 pot
	1	Viburnum opulus var. americanum	American Cranberry Bush	# 3 pot
ORNAMENTAL GRASSES				
KEY	QTY	BOTANICAL NAME	COMMON NAME	POT SIZE
	29	Calamagrostis x acutiflora 'Overdam'	Karl Foerester	# 1 pot
	36	Deschampsia cespitosa	Tufted Hair Grass	# 1 pot
	55	Helictotrichon sempervirens	Blue Oat Grass	# 1 pot
	5	Panicum virgatum 'Heavy Metal'	Heavy Metal Switchgrass	# 1 pot
PERENNIALS				
KEY	QTY	BOTANICAL NAME	COMMON NAME	POT SIZE
	5	Achillea millefolium	Common Yarrow	# 1 pot
	72	Allium 'Millenium'	Ornamental Onion	# 1 pot
	12	Brunnera macrophylla 'Alexander's Great'	Siberian Bugloss	# 1 pot
	15	Heuchera cylindrica	Roundleaf Alumroot	# 1 pot
	16	Iris pallida 'Variegata'	Variegated Purple Iris	# 1 pot
	10	Sedum telephium 'Autumn Charm'	Sedum 'Autumn Charm'	# 1 pot
	24	Stachys byzantina 'Big Ears'	Giant Lamb's Ear	# 1 pot

PLANT SELECTION

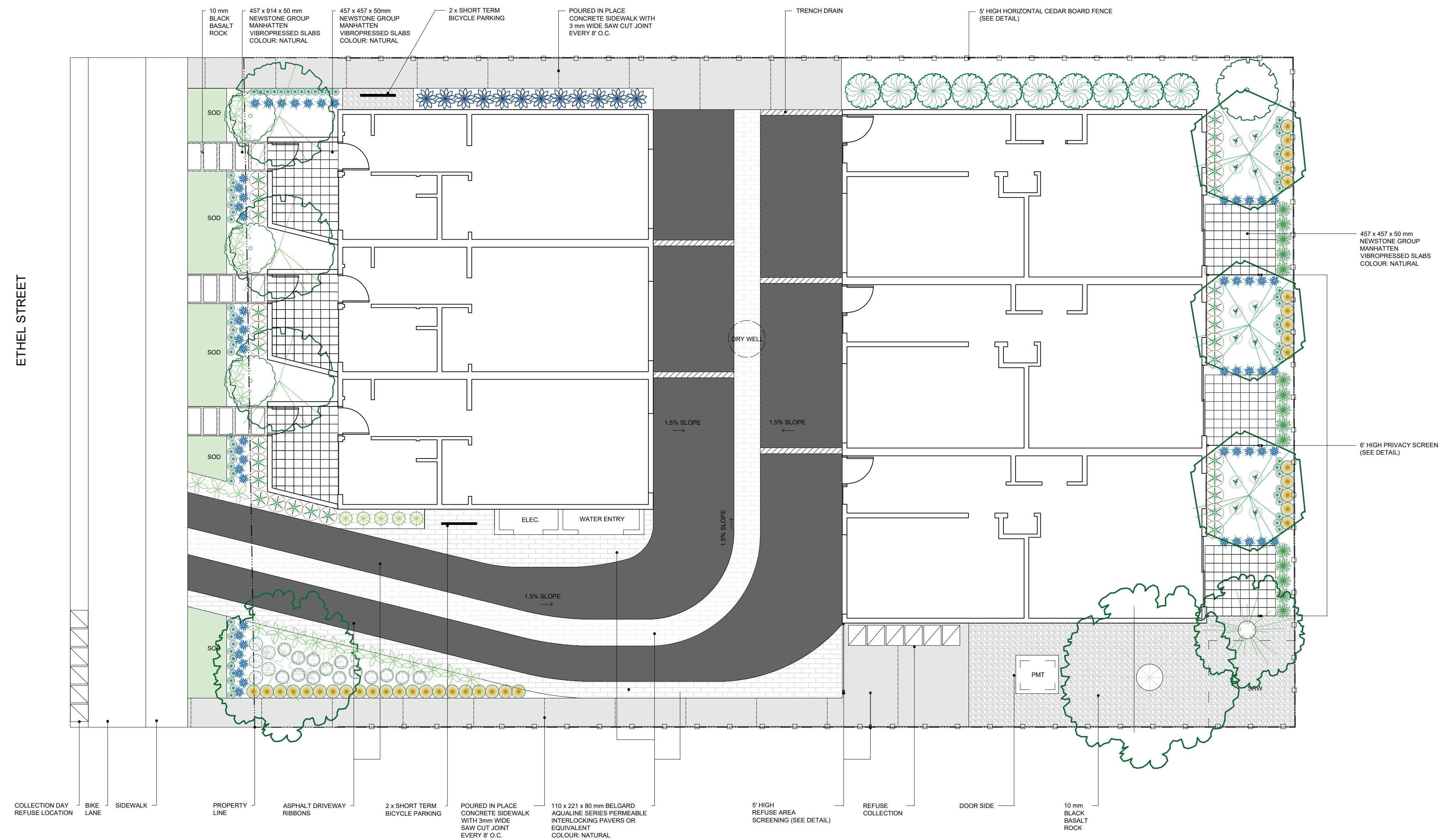
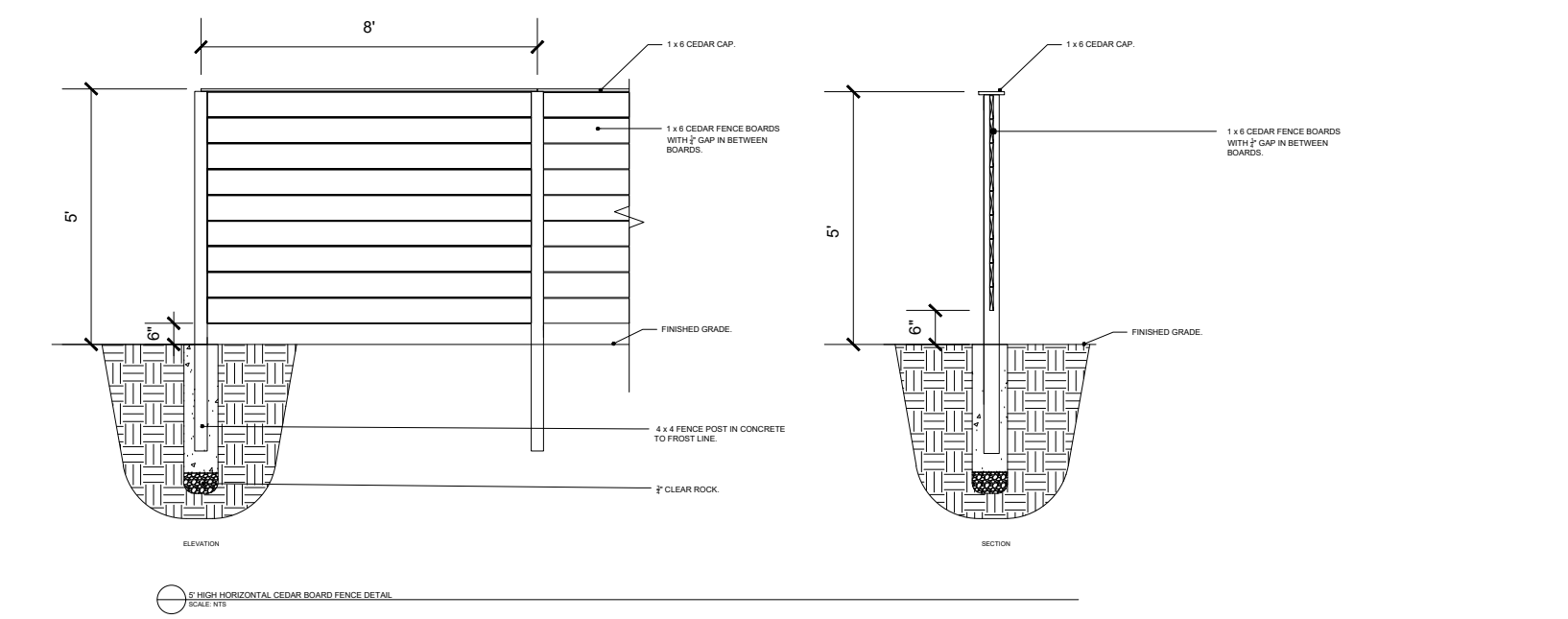
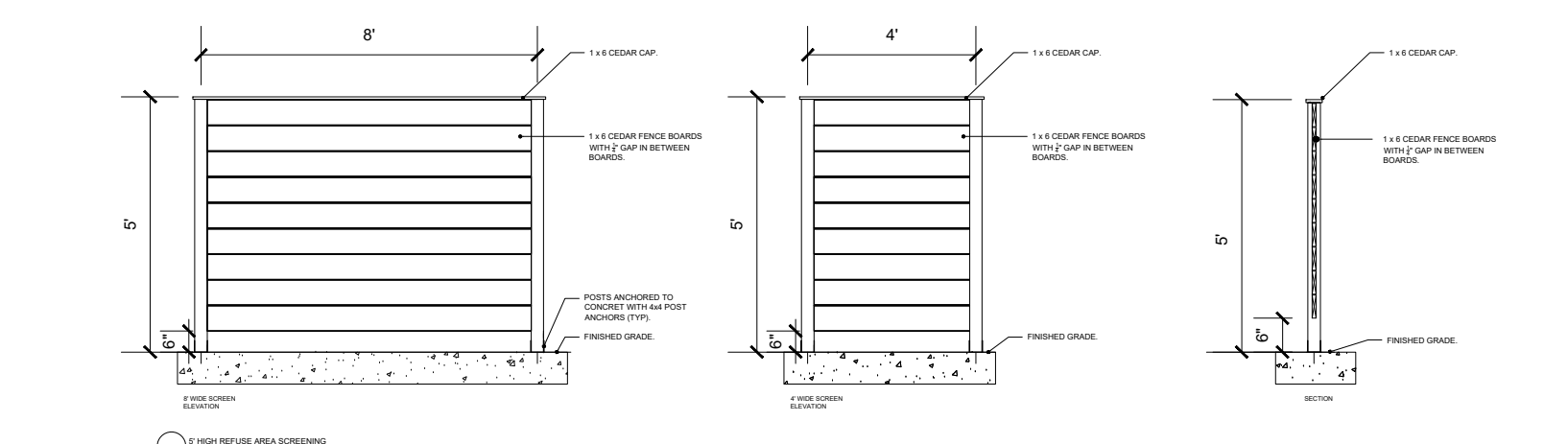
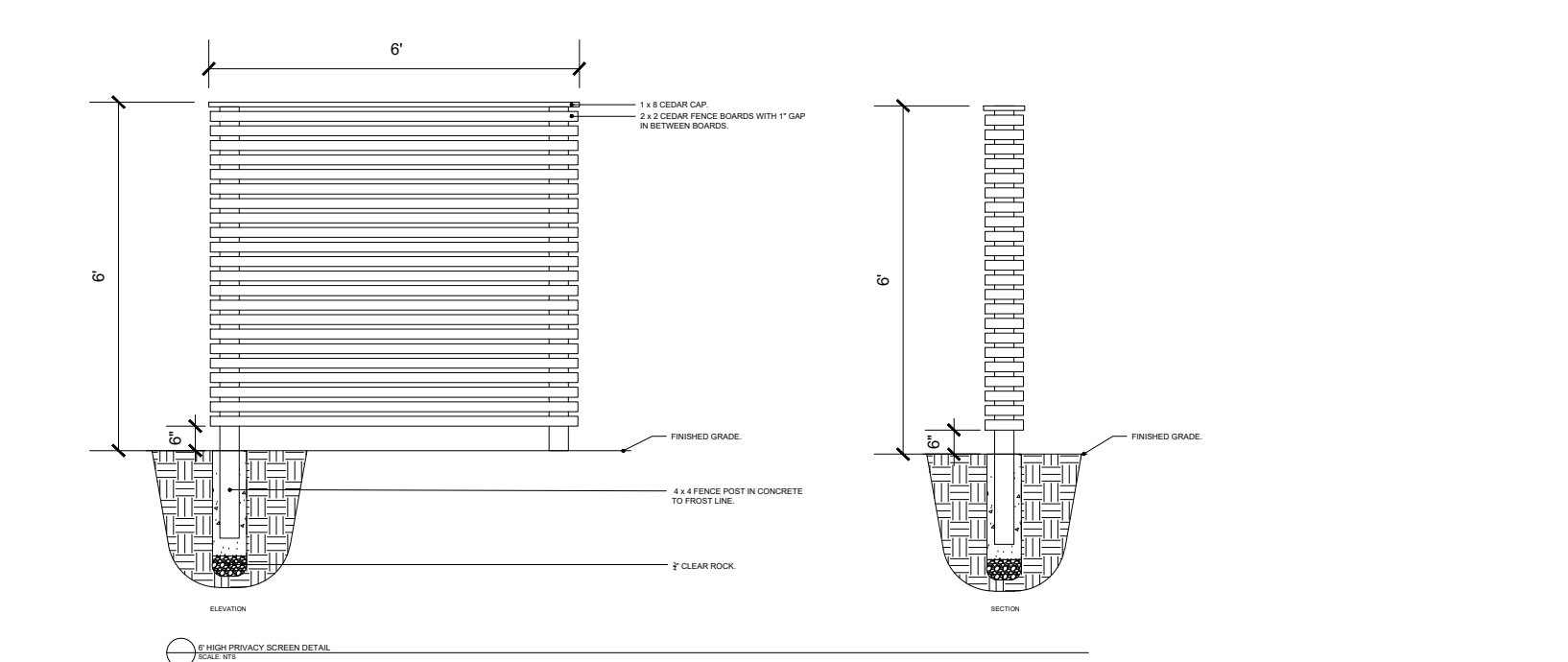
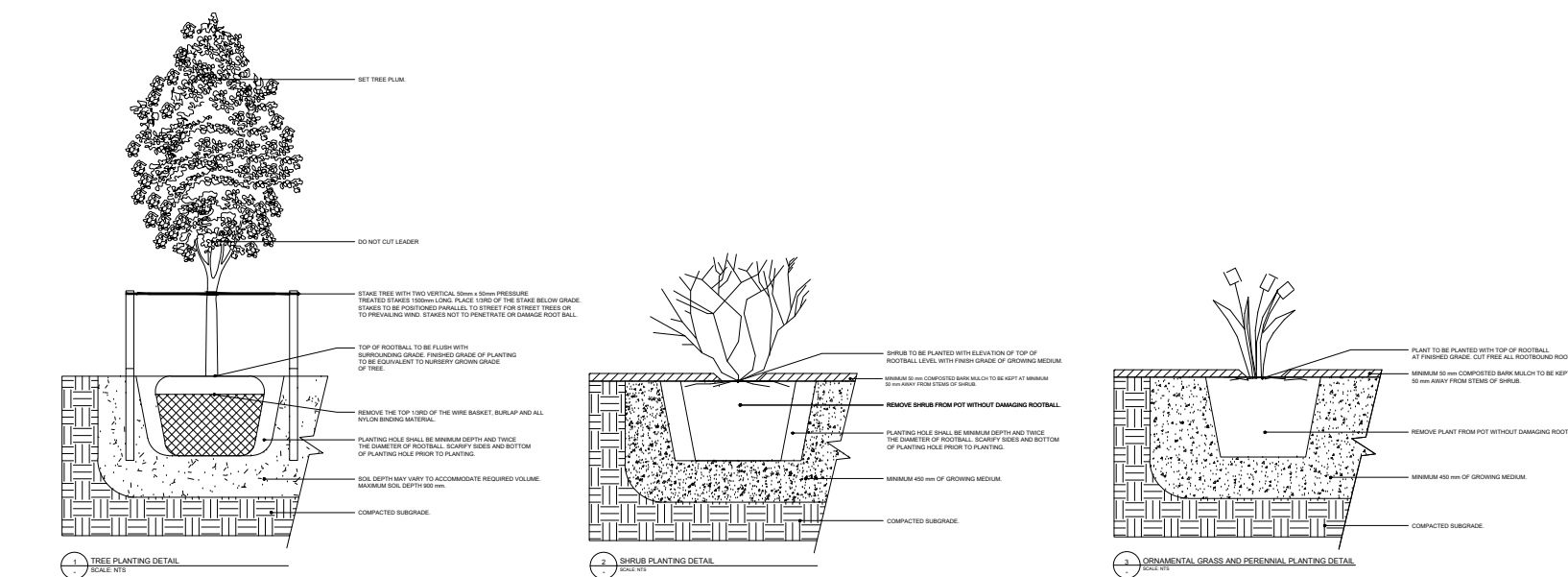


MATERIALS AND LANDSCAPE ELEMENTS



GENERAL LANDSCAPE NOTES:

- Final plant selection may vary depending on availability at time of construction. Landscape Designer to confirm all substitutions prior to installation.
- All planting beds shall be amended with a minimum of 300mm growing medium that includes a minimum of 10% organic matter, and top dressed with a maximum of 75mm fine black bark mulch.
- No weed barrier of any kind is to be placed underneath plantings.
- High efficiency automatic irrigation system shall be installed for all landscaped areas.
- Minimum slope of 1-2% away from all built structures for proper drainage.



PROJECT
Ethel Street
6 Unit Infill
2429 Ethel Street,
Kelowna, BC

SHEET TITLE
Landscape Plan,
Landscape Details

DATE
25-01-23

SCALE
1/8" = 1'-0"

DRAWING NUMBER
L1.0

